

**VENDOR STATEMENT
TO THE PURCHASER OF REAL ESTATE
PURSUANT TO SECTION 32 OF THE
SALE OF LAND ACT 1962 (VIC) ("the Act")
as at 1 October 2014**

LAND

149 Wattle Street, Bendigo VIC 3550

The vendor makes this statement in respect of the land in accordance with section 32 of the *Sale of Land Act 1962*.

The vendor must sign this statement and give it to the purchaser prior to the purchaser signing the contract. The vendor may sign this statement to be given to the purchaser by electronic signature.

VENDOR

Jacinta Louise Jackson

Signature of the Vendor



DATE OF THIS STATEMENT

24/02/2019-20

The Purchaser acknowledges being given this statement signed by the Vendor together with the attached documents before the Purchaser signed any contract.

PURCHASER

Signature of the Purchaser

DATE OF ACKNOWLEDGEMENT

/

/20__

1. FINANCIAL MATTERS

1.1 Rates, taxes, charges or other similar outgoings

Particulars of any rates, taxes, charges or other similar outgoings affecting the land (and any interest payable on any part of them):

(a) Their total does not exceed \$10,000.

2. INSURANCE DETAILS

Not Applicable

3. LAND USE

3.1 Easement, covenant or other similar restriction affecting the land

(a) A description of any easement, covenant or other similar restriction affecting the land (whether registered or unregistered):

is set out in the attached copies of title document(s).

Designated bushfire prone area

The land is in an area designated as a bushfire prone area under section 192A of the *Building Act 1993* if the square box is marked with an "X". If the box is marked with an "X" please refer to attached statement that the land is in such an area.

☐

3.2 Road access

There is NO access to the property by road if the square box is marked with an "X"

☐

3.3 Planning scheme

Is contained in the attached certificate with the required specified information.

4. NOTICES

None to the Vendors knowledge

5. SERVICES

The following services are not connected to the land:

- ☐ electricity supply
- ☐ gas supply
- ☐ water supply
- ☐ sewerage
- ☐ telephone services

6. TITLE

Copies of the following documents are attached:

6.1 Registered Title (*Transfer of Land Act 1958*)

A Register Search Statement and the document, or part of the document referred to as the diagram location in the Register Search Statement that identifies the land and its location.

7. DUE DILIGENCE CHECKLIST

The Vendor or the Vendor's licensed estate agent must ensure that a prescribed due diligence checklist is made available before the land is offered for sale to any prospective purchaser from the time the land for sale that is vacant residential land or land on which there is a residence.

The provision or attachment of the due diligence checklist to Vendor Statement is not required but may be attached as a matter of convenience.

8. ATTACHMENTS

- 8.1 Register Search Statement
- 8.2 Plan
- 8.3 Mine Hazard & Subsidence Report
- 8.4 Property Report
- 8.5 Planning Property Report
- 8.6 Bushfire Prone Area Report
- 8.7 Sewer Plan
- 8.8 Rates Notices
- 8.9 Due diligence checklist

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 00532 FOLIO 241

Security no : 124080327776D
Produced 20/11/2019 11:26 AM

LAND DESCRIPTION

Crown Allotment 3 Section 50B at Bendigo Parish of Sandhurst.
PARENT TITLE Volume 00459 Folio 603
Created by instrument 27001 18/09/1872

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
JACINTA LOUISE JACKSON of 149 WATTLE STREET BENDIGO VIC 3550
AL928407C 02/06/2015

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AL928408A 02/06/2015
NATIONAL AUSTRALIA BANK LTD

For details of any other encumbrances see the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP701723M FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 149 WATTLE STREET BENDIGO VIC 3550

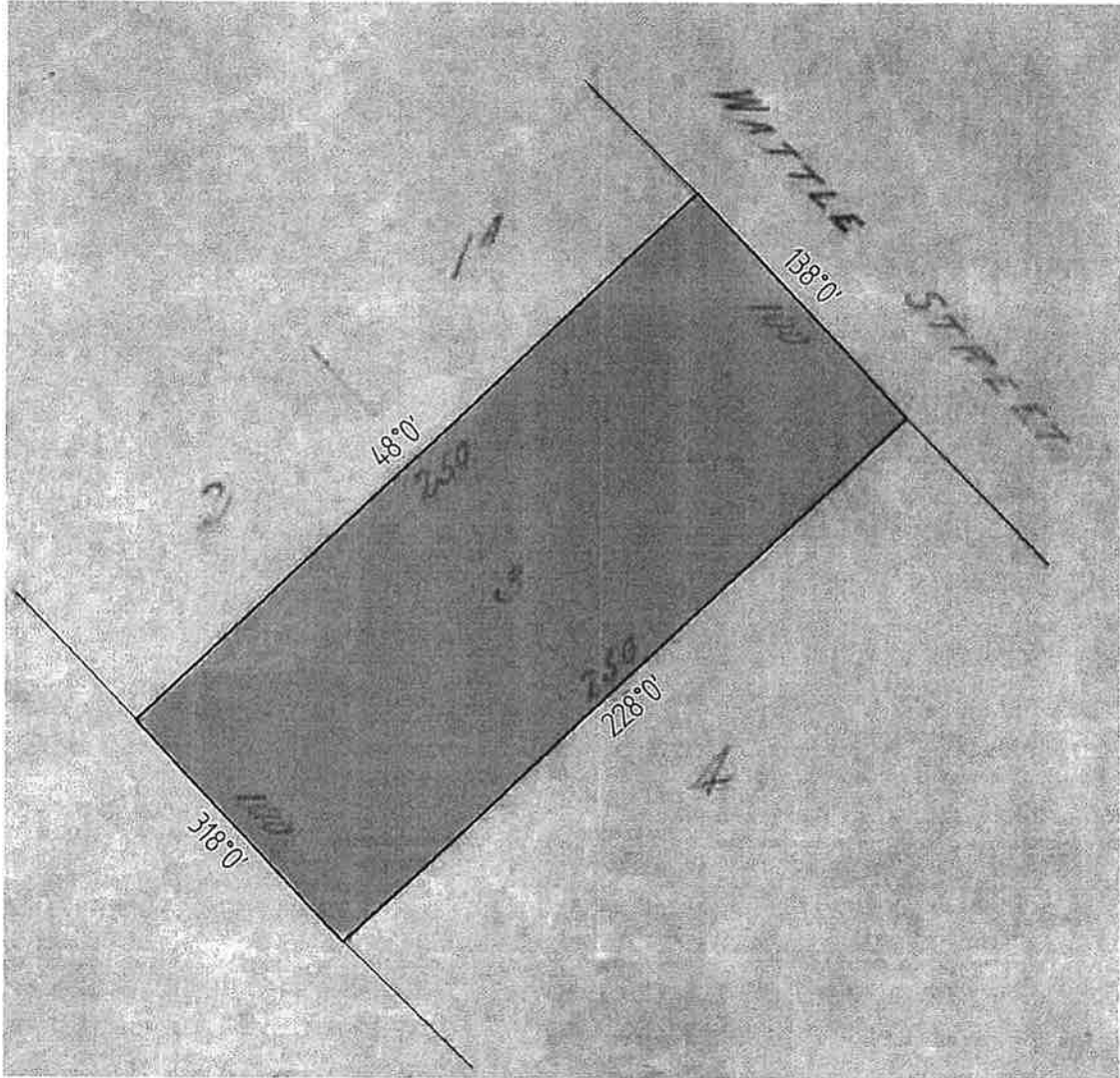
ADMINISTRATIVE NOTICES

NIL

eCT Control 16089P NATIONAL AUSTRALIA BANK LIMITED
Effective from 23/10/2016

DOCUMENT END

The information supplied by O Farrell Robertson McMahon has been obtained from GlobalX by agreement between them. Delivered from the LANDATA® System by GlobalX Pty Ltd

TITLE PLAN		EDITION 1	TP 701723M
Location of Land Parish: AT BENDIGO PARISH OF SANDHURST Township: Section: 50B Crown Allotment: 3 Crown Portion: Last Plan Reference: Derived From: VOL 0532 FOL 241 Depth Limitation: NIL		Notations ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN	
Description of Land / Easement Information		THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT COMPILED: 28/11/2000 VERIFIED: M.P	
			
LENGTHS ARE IN LINKS		Metres = 0.3048 x Feet Metres = 0.201168 x Links	Sheet 1 of 1 sheets

Property Report from www.land.vic.gov.au on 20 November 2019 11:27 AM

Address: 149 WATTLE STREET BENDIGO 3550

Crown Description: Allot. 3 Sec. 50B AT BENDIGO, PARISH OF SANDHURST

Standard Parcel Identifier (SPI): 3~50BPP3473A

Local Government (Council): GREATER BENDIGO Council Property Number: 182602

Directory Reference: VicRoads 607 Q6

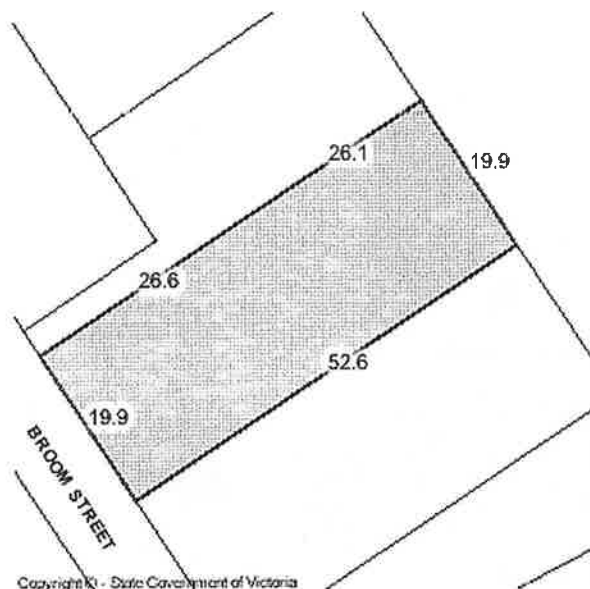
This property is not in a designated bushfire prone area.

No special bushfire construction requirements apply. Planning provisions may apply.

Further information about the building control system and building in bushfire prone areas can be found in the Building Commission section of the Victorian Building Authority website www.vba.vic.gov.au

Site Dimensions

All dimensions and areas are approximate. They may not agree with the values shown on a title or plan.



Area: 1044 sq. m

Perimeter: 145 m

For this property:

— Site boundaries

— Road frontages

Dimensions for individual parcels require a separate search, but dimensions for individual units are generally not available.

For more accurate dimensions get copy of plan at [Title and Property Certificates](#)

State Electorates

Legislative Council: NORTHERN VICTORIA

Legislative Assembly: BENDIGO WEST

Utilities

Rural Water Corporation: Goulburn-Murray Water

Urban Water Corporation: Coliban Water

Melbourne Water: outside drainage boundary

Power Distributor: POWERCOR (Information about [choosing an electricity retailer](#))

Planning information continued on next page

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Planning Zone Summary

Planning Zone: GENERAL RESIDENTIAL ZONE (GRZ)
SCHEDULE TO THE GENERAL RESIDENTIAL ZONE (GRZ)

Planning Overlays: HERITAGE OVERLAY (HO)
HERITAGE OVERLAY SCHEDULE (HO292)
PARKING OVERLAY (PO)
PARKING OVERLAY - PRECINCT 1 SCHEDULE (PO1)

Planning scheme data last updated on 14 November 2019.

A **planning scheme** sets out policies and requirements for the use, development and protection of land. This report provides information about the zone and overlay provisions that apply to the selected land. Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting [Planning Schemes Online](#)

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the *Planning and Environment Act 1987*. It does not include information about exhibited planning scheme amendments, or zonings that may affect the land. To obtain a Planning Certificate go to [Titles and Property Certificates](#)

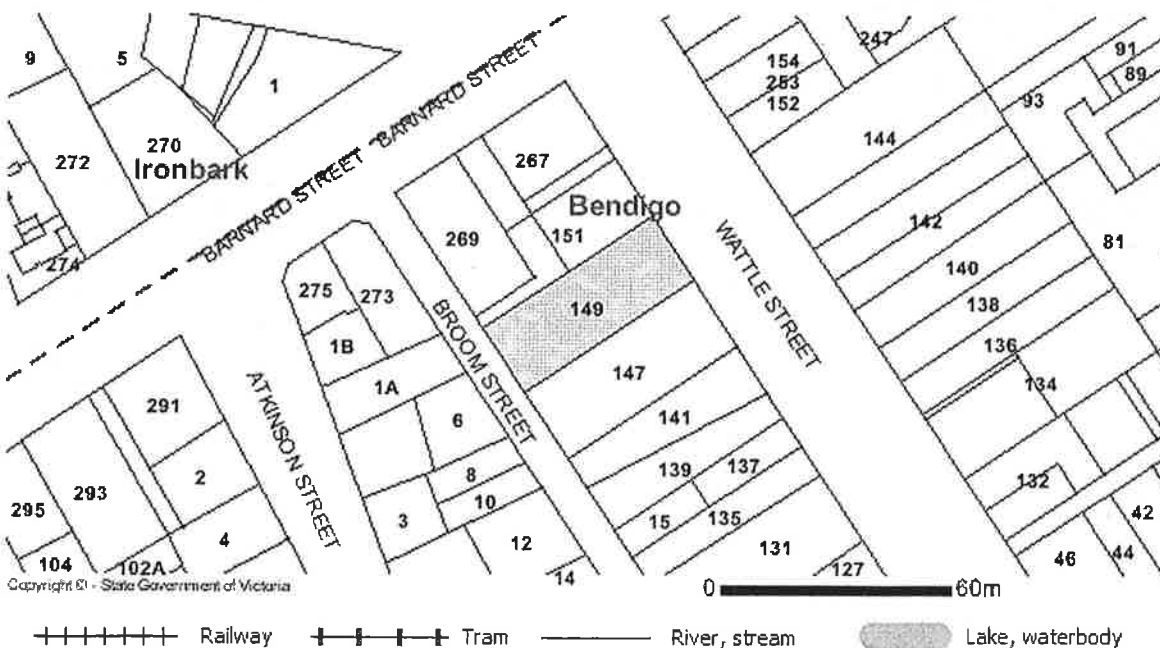
The Planning Property Report includes separate maps of zones and overlays

For details of surrounding properties, use this service to get the Reports for properties of interest

To view planning zones, overlay and heritage information in an interactive format visit [Planning Maps Online](#)

For other information about planning in Victoria visit www.planning.vic.gov.au

Area Map



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PLANNING PROPERTY REPORT



Environment,
Land, Water
and Planning

From www.planning.vic.gov.au on 20 November 2019 11:28 AM

PROPERTY DETAILS

Address: 149 WATTLE STREET BENDIGO 3550
Crown Description: Allot. 3 Sec. 50B AT BENDIGO, PARISH OF SANDHURST
Standard Parcel Identifier (SPI): 3-50B\PP3473A
Local Government Area (Council): GREATER BENDIGO
Council Property Number: 182602
Planning Scheme: Greater Bendigo
Directory Reference: VicRoads 607 Q6

www.bendigo.vic.gov.au

planning-schemes.delwp.vic.gov.au/schemes/greaterbendigo

UTILITIES

Rural Water Corporation: Goulburn-Murray Water
Urban Water Corporation: Coliban Water
Melbourne Water: outside drainage boundary
Power Distributor: POWERCOR

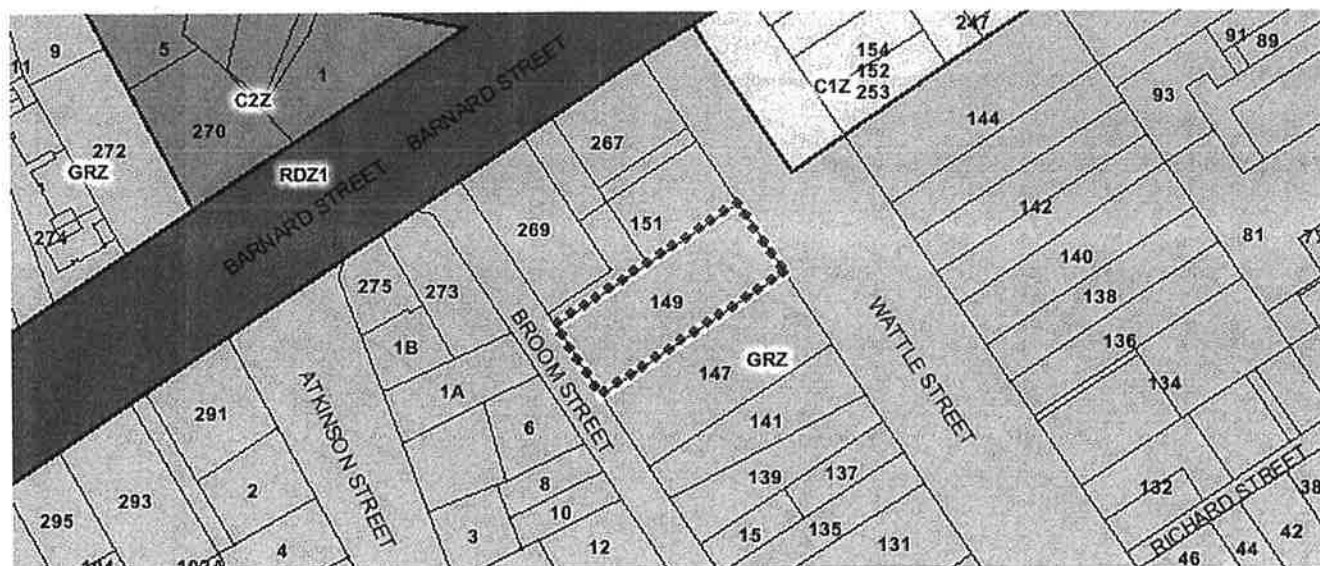
STATE ELECTORATES

Legislative Council: NORTHERN VICTORIA
Legislative Assembly: BENDIGO WEST

Planning Zones

GENERAL RESIDENTIAL ZONE (GRZ)

SCHEDULE TO THE GENERAL RESIDENTIAL ZONE (GRZ)



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C1Z - Commercial 1

C2Z - Commercial 2

GRZ - General Residential

RDZ1 - Road - Category 1

Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is in a bushfire prone area as required by section 32C (b) of the Sale of Land 1962 (Vic).

PLANNING PROPERTY REPORT: 149 WATTLE STREET BENDIGO 3550

Page 1 of 4

Further Planning Information

Planning scheme data last updated on 14 November 2019.

A **planning scheme** sets out policies and requirements for the use, development and protection of land.

This report provides information about the zone and overlay provisions that apply to the selected land.

Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council

or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the *Planning and Environment Act 1987*.

It does not include information about exhibited planning scheme amendments, or zonings that may affect the land.

To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit <http://mapshare.maps.vic.gov.au/vicplan>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

Date: 29/11/2019

Rates and valuation notice

27 NOV 2019
For the period 1 July, 2019 to 30 June, 2020



J L Jackson
149 Wattle St
BENDIGO VIC 3550

Wattle Rates
18-19-20

Internal use only



Tax invoice

Assessment no. **13967 5**

Date of issue **26/07/2019**

Rate enquiries

8.30am to 5pm, Monday to Friday

Website www.bendigo.vic.gov.au/rates

Email enquiries@bendigo.vic.gov.au

Phone (03) 5434 6000

Property 149 Wattle Street, BENDIGO 3550

Legal description CA 3 Sec 50B

Valued as at	01/01/2019	Total GST	\$0.00
Capital Improved Value	\$1,690,000	Date declared	19/06/2019
Site value	\$600,000	Notice issued	26/07/2019
Net Annual Value	\$84,500	FSPL Classification	Residential
		AVPCC	110.3

Particulars of rates/charges	Charges	Rateable value	Amount
General Rate	0.00399849	1690000	\$6,757.40
General Waste & Landfill Charge - 240L Bin	\$262.25	1	\$262.25
Recyclable Waste Charge	\$95.35	1	\$95.35
Organic Waste Charge	\$91.70	1	\$91.70
Victorian Fire Services Levy - Residential	\$111 + (0.000066 x \$1,690,000)		\$222.50
Early Payment Discount			-\$108.20

OPTION 1

Pay in FULL by
17 Feb, 2020. **\$7,429.20**

OPTION 2

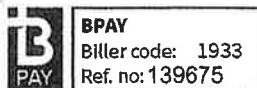
Pay in FULL EARLY
by 30 Sep, 2019
and receive a
1.5% discount. **\$7,321.00**

OPTION 3

Pay FOUR INSTALMENTS.
First instalment by
30 Sep, 2019. **\$1,857.00**

For payment by instalments, the full amount must be paid in full at the time of the first instalment.

Second by 02 Dec, 2019 **\$1,857.00**
Third by 28 Feb, 2020 **\$1,857.00**
Fourth by 01 Jun, 2020 **\$1,858.20**



BPAY
Biller code: 1933
Ref. no: 139675



BPOINT
Biller code: 1933
Ref. no: 139675



Total Rate *360 000139675

BPAY this payment via Internet or phone banking.
BPAY View® View and pay this bill using internet banking.
BPAY View Registration No. 139675

Biller code: 0360 Ref. no: 1396 75
Pay in store at Australia Post, phone
13 18 16 or go to www.postbillpay.com.au



For emailed notices:
bendigo.enotices.com.au
Reference No: C811BA25FT



Bendigo and Adelaide Bank Limited, The Bendigo Centre, Bendigo, VIC

Ratepayers name: J L Jackson
Property: 149 Wattle Street, BENDIGO 3550
Assessment no: 13967 5

Internal use only



CREDIT

Do not pin or staple cheques to deposit slip

Payment option 1 by 17/02/2020: \$7,429.20
Payment option 2 by 30/09/2019: \$7,321.00
Payment option 3 by 30/09/2019: \$1,857.00

Teller's stamp and Initials	Name			
	Paid in by (signature)			
No. of cheques	Drawer	Bank	Branch	

For CREDIT of CITY OF GREATER BENDIGO RATE NOTICE

TELLER USE	
\$100	
\$50	
\$20	
\$10	
\$5	

Date	
Notes	
Coins	
Cheques	
TOTAL \$	



033

J L Jackson
149 Wattle St
BENDIGO VIC 3550



1300 363 200

www.coliban.com.au

Date of Issue: 22 Nov 2019

Next Scheduled Reading: 18 Feb 2020

Account Number

15-0082-3050-01-2

Invoice Number

8283408

Amount Due

\$ 414.60

Pay By

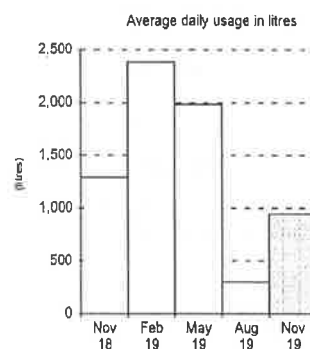
20 December 2019

Service Address: 149 Wattle St, Bendigo VIC 3550
Classification: Residential

Opening Balance	\$292.75
Total Payments Received up to 21 Nov 2019	\$297.75 CR
Balance	\$5.00 CR
Current Charges	
Water Consumption	\$193.09
Water Service Fee	\$56.56
Sewerage Service Fee	\$169.95
Total	\$419.60
Total Amount Due	\$414.60
Total includes GST of	\$0.00

See over the page for payment options

Concession has not been applied
(refer over for eligibility).



Av. Daily Use 945 L/day

Av. Daily Cost \$4.61/day

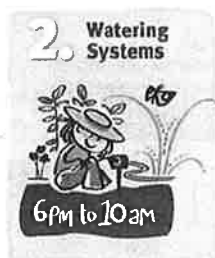
For information on the Victorian Government's
Target Your Water Use program visit
www.targetyourwateruse.vic.gov.au

PAID

Please contact us on 1300 363 200 if you have a concern about your water or sewer service. If we are unable to resolve your concern you can contact the Energy and Water Ombudsman (Victoria) on freecall 1800 500 509. Refer to www.ewov.com.au for more information.

Permanent Water Saving Rules

5 simple rules are in place at all times when water restrictions are not in force.



To find out more visit www.coliban.com.au or call 1300 363 200 for further information

T:66 - 01102018



HISTORIC MINING ACTIVITY

Form No. 692

20 November, 2019

Property Information:

Address: 149 WATTLE STREET BENDIGO 3550

It is advised that:

Our records do not indicate the existence of any mining activity on this site, but the site may be over or close to known mining activity. Note that there may be unrecorded mine openings connecting with such activity. (2)

NOTE: Historic Mining activity information is provided from plans and records that may be incomplete and may not be entirely free from errors. It is provided for information only and should not be relied upon as definitive of the status of any area of land. It is provided on the basis that all persons accessing it undertake responsibility for assessing the relevance and accuracy of its content. The State of Victoria and its officers, agents or employees do not guarantee that the work is without flaw of any kind or is wholly appropriate for your particular purposes and therefore disclaims all liability for any error, loss or other consequence which may arise from you relying on any information in this work.

For queries, contact:

Department of Jobs, Precincts and Regions
E-mail: erd_info@ecodev.vic.gov.au

PLANNING PERMIT

Permit No. **DR/795/2011**
Planning Scheme: **Greater Bendigo Planning Scheme**
Responsible Authority: **Greater Bendigo City Council**

ADDRESS OF THE LAND: **149 Wattle Street, BENDIGO 3550**
CA 3 Sec 50B

THE PERMIT ALLOWS: **Partial Demolition of Dwelling, Construction of an Extension, Pergola, Deck, Swimming Pool and Shed/Garage**

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

1. MODIFIED PLAN REQUIRED

Before the development starts, amended plans to the satisfaction of the responsible authority must be submitted to and approved by the responsible authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must be generally in accordance with the plans submitted with the application but modified to show:

- (a) A paint and material schedule should be submitted for the dwelling and garage to Council for approval prior to commencement of the construction work. The garage should be constructed of traditional profile corrugated colorbond exterior cladding or similar with contrasting tones for the door and roof.

2. NO LAYOUT ALTERATION

The development permitted by this permit as shown on the endorsed plans and/or described in the endorsed documents must not be altered or modified (for any reason) except with the prior written consent of the responsible authority.

3. SCHEDULE OF MATERIALS

Prior to the commencement of development a schedule of the proposed materials and colours to be used for the building, shall be submitted to and approved in writing by the responsible authority.

4. GENERAL DRAINAGE – BUILDINGS AND HOUSES

The development must be drained to the satisfaction of the City of Greater Bendigo as the responsible drainage authority.

5. VEHICLE CROSSING

If the vehicular access to the subject land from any roadway or service lane (and vice versa) is altered then it must be by way of a vehicle crossing(s) constructed at right angles to the road, to suit the proposed driveway(s) and vehicles that will use the crossing. A Works within Road Reserves permit must be obtained from the City of Greater Bendigo Asset Planning & Design Unit prior to any work commencing in the road reserve.

6. CONSTRUCTION PHASE

All activities associated with the construction of the development permitted by this permit must be carried out to the satisfaction of the responsible authority and all care must be taken to minimise the effect of such activities on the amenity of the locality.

Signature for the
Responsible Authority



Date Issued: 8 December, 2011



PLANNING PERMIT

Permit No. DR/795/2011
Planning Scheme: Greater Bendigo Planning Scheme
Responsible Authority: Greater Bendigo City Council

ADDRESS OF THE LAND: 149 Wattle Street, BENDIGO 3550
CA 3 Sec 50B

THE PERMIT ALLOWS: Partial Demolition of Dwelling, Construction of an Extension,
Pergola, Deck, Swimming Pool and Shed/Garage

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

Only in the case where ResCode *was not* required to be considered:

Note:

This development has been assessed and approved under the Planning Scheme provisions (*Heritage Overlay*) only. This approval does not indicate that requirements of Part 4 of the Building Regulations 2006 have been satisfied.

Signature for the
Responsible Authority

A handwritten signature in black ink, appearing to be a stylized 'R' or similar character.

Planning & Environment Act Regulations 2005 – Form 4

Date Issued: 8 December, 2011

Page 2 of 3

IMPORTANT INFORMATION ABOUT THIS PERMIT

WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.

(Note: This is not a permit granted under Division 5 of Part 4 of the *Planning & Environment Act 1987*)

WHEN DOES A PERMIT BEGIN?

A permit operates:

- from the date specified in the permit, or
- if no date is specified, from:
 - (i) the date of the decision of the Victorian Civil & Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
 - (ii) the date on which it was issued, in any other case.

WHEN DOES A PERMIT EXPIRE?

- A permit for the development of land expires if –
 - the development or any stage of it does not start within the time specified in the permit, or
 - the development requires the certification of a plan of subdivision or consolidation under the *Subdivision Act 1988* and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
 - the development or any stage is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan of subdivision or consolidation under the *Subdivision Act 1988*.
- A permit for the use of land expires if –
 - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
 - the use is discontinued for a period of two years.
- A permit for the development and use of the land expires if –
 - the development or any stage of it does not start within the time specified in the permit; or
 - the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
 - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development; or
 - the use is discontinued for a period of two years.
- If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in Section 6A(2) of the *Planning and Environment Act 1987*, or to any combination of use, development or any of those circumstances requires the certification of a plan under the *Subdivision Act 1988*, unless the permit contains a different provision –
 - the use or development of any stage is to be taken to have started when the plan is certified; and
 - the permit expires if the plan is not certified within two years of the issue of the permit.
- The expiry of a permit does not affect the validity of anything done under the permit before the expiry.

WHAT ABOUT APPEALS?

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil & Administrative Tribunal where, in which case no right of appeal exists.
- An application for review must be lodged within 60 days after the permit was issued, unless a Notice of Decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
- An application for review is lodged with the Victorian Civil & Administrative Tribunal.
- An application for review must be made on an Application for Review form which can be obtained from the Civil & Administrative Tribunal, and be accompanied by the applicable fee.
- An application for review must state the grounds upon which it is based.
- An application for review must also be served on the Responsible Authority.
- Details about applications for review and the fees payable can be obtained from the Victorian Civil & Administrative Tribunal.

Planning Services
City of Greater Bendigo
15 Hopetoun Street,
PO Box 733, Bendigo 3552

Telephone: (03) 5434 6355
Facsimile: (03) 5434 6334
TTY: (03) 5434 6460
www.bendigo.vic.gov.au

Staged Permit BS1365/20112526/0

Issued to
Owner ¹ P & K Hyett
149 Wattle St
Bendigo 3550

Agent Mark Coffey Constructions
5 MacKenzie Street
Bendigo 3550

Property Details 149 Lot 3 TP701723M Wattle Street Bendigo 3550
Municipal District City of Greater Bendigo
Title details Vol 00532 Fol 241

Builder ² Mark Coffey, Mark Coffey Constructions Phone 03 5441 7003
5 MacKenzie Street Bendigo 3550

PRACTITIONERS

COFFEY MARK JAMES DBU8373
MWEEMBA AMON EC33310
MCALPINE DANIEL DPAD19324

FUNCTION AND ENGAGEMENT

Engaged in various parts of the building work- *1
Prepared documents only- *2
Prepared documents only- *2

Architect or Draftsman

who were engaged to prepare documents forming part of the application for this permit
DMC Drafting and Design Services DPAD19324

DETAILS OF DOMESTIC BUILDING WORK INSURANCE

The issuer or provider of the required insurance policy is:- QBE Insurance (Australia) Ltd

Details of relevant planning permit (if applicable)

Planning Permit No: DR/795/2011

Date of grant of planning permit 8/12/2011

Nature of building work	Alterations & additions to dwelling
Stage of building work permitted	Internal Alterations and rear verandah demolition Only
Cost of building work	\$50,000.00
Total floor area of new building work	49 m ²
Building classification	Class 1a(i)
Part of building	Internal Alterations and rear verandah demolition Only

Occupation or use of building

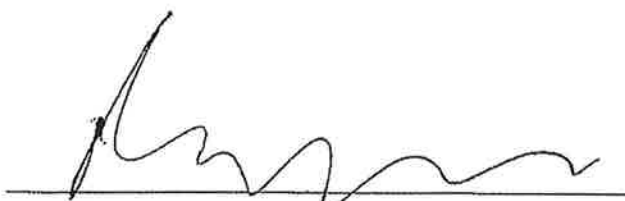
A Certificate of Final Inspection is required before use or occupation

If an occupancy permit is required, the permit is required for the whole/part* of the building in respect of which the building work is carried out. *whichever is applicable

Commencement and completion

This building work must commence by 16/02/2013

This building work must be completed by 16/02/2014



Ross O'Meara

RELEVANT BUILDING SURVEYOR

Registration No BS1365

Date of issue:

Supporting Better Builders

Thursday, 16 February 2012

Page 1 of 2

Staged Permit BS1365/20112526/0

MANDATORY INSPECTIONS

Framework

Final

PERMIT CONDITIONS

- 1 Demolition work to comply with AS 2601-2001
- 2 Display of Sign: Pursuant to Regulation 317 of the Building Regulations 2006, the site sign as attached must be displayed at all times by the person in charge of the building work.
- 3 The Domestic Building Contracts Act 1995 applies to this work
- 4 Wet areas are to comply with Building Code of Australia F1.7
- 5 Proposed downpipes and stormwater drainage lines, to be connected to a legal point of discharge to Council's approval.
- 6 All plumbing work must be carried out by a licensed plumber and approved by the relevant authority
- 7 Timber framing is to comply with AS1684-2006 and AS1720.1-1997 & AS1720.4-1990
- 8 Areas designated Termite areas protection required in accordance with AS 3660.1-2000
- 9 All relevant Planning Conditions and covenants on title must be complied with.
- 10 The Building Work as described in the plans approved for the Building Permit must not be altered in any way

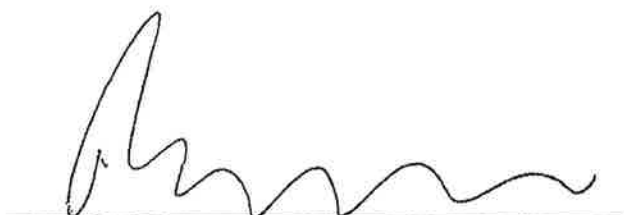
Note 1: Under regulation 318 an owner of a building or land, for which a building permit has been issued, must notify the relevant building surveyor within 14 days after any change in the name or address of the owner or of the builder carrying out the building work. The penalty for non-compliance is 10 penalty units.

Note 2: Under regulation 317 the person in charge of the carrying out of building work on an allotment must take all reasonable steps to ensure that a copy of this permit and one set of any approved plans, specifications and documents are available for inspection at the allotment while the building work is in progress. They must also take all reasonable steps to ensure that the registration numbers and contact details of the builder and building surveyor and the number and date of issue of this permit are displayed in a conspicuous position accessible to the public before and during the building work to which this permit applies.

Note 3: Include building practitioners with continuing involvement in the building work.

Note 4: Include only building practitioners with no further involvement in the building work.

Note 4: Domestic builders carrying out domestic building work forming part of this permit (where the contract price for that work is more than \$12000) must be covered by an insurance policy as required under section 135 of the Building Act 1993.



Ross O'Meara
RELEVANT BUILDING SURVEYOR
Registration No BS1365

'Supporting Better Builders'

Date of Issue:

Thursday, 10 February 2012
Page 2 of 2

CERTIFICATE OF FINAL INSPECTION

Owner P & K Hyett
149 Wattle St
Bendigo 3550


Agent Mark Coffey Constructions
5 MacKenzie Street
Bendigo 3550

Property Details 149 Lot 3 TP701723M Wattle Street Bendigo 3550
Title details Vol 00532 Fol 241
Municipal District City of Greater Bendigo

Description of Building Works Alterations & additions to dwelling Internal Alterations and rear verandah demolition Only
Permitted Use residential
BCA Class 1a(i)

Certificate Number 20112526/0
Inspection Date 9/03/2012
Certificate Date Tuesday, 3 February 2015

Directions All directions under Part 4 of the Building Act 1993 have been complied with.
Conditions If applicable Occupation is subject to the Essential Services being maintained in accordance with the maintenance provisions of Part 12 of the Building Regulations 2006. Refer to the attached list of Essential Services Requirements.



Ross O'Meara
Registration No BS1365

RELEVANT BUILDING SURVEYOR

'Supporting Better Builders'

Form 2
Regulation 313
Building Act 1993
Building Regulations 2006

Staged Permit BS1365/20112526/1

Issued to

Owner ¹ P & K Hyett
149 Wattle St
Bendigo 3550

Agent Mark Coffey Constructions
5 MacKenzie Street
Bendigo 3550

Property Details 149 Lot 3 TP701723M Wattle Street Bendigo 3550
Municipal District City of Greater Bendigo
Title details Vol 00532 Fol 241

Builder ² Mark Coffey Constructions - Phone 03 5441 7003
5 MacKenzie Street Bendigo 3550

PRACTITIONERS

COFFEY MARK JAMES	DBU8373
MWEEMBA AMON	EC33310
MCALPINE DANIEL	DPAD19324
SURACE GIUSEPPE (JOE)	DBL1400

FUNCTION AND ENGAGEMENT

Engaged in various parts of the building work- *1
Prepared documents only- *2
Prepared documents only- *2
Engaged in various parts of the building work- *1

Architect or Draftsman

who were engaged to prepare documents forming part of the application for this permit
DMC Drafting and Design Services DPAD19324

DETAILS OF DOMESTIC BUILDING WORK INSURANCE

The issuer or provider of the required insurance policy is:- QBE Insurance (Australia) Ltd

Details of relevant planning permit (if applicable)

Planning Permit No: DR/795/2011

Date of grant of planning permit 8/12/2011

Nature of building work	Alterations & additions to dwelling
Stage of building work permitted	Rear Extension and Swimming Pool
Cost of building work	\$315,882.00
Total floor area of new building work	49 m ²
Building classification	Class 1a(i)&10b
Part of building	Rear extension and Swlm

Occupation or use of building

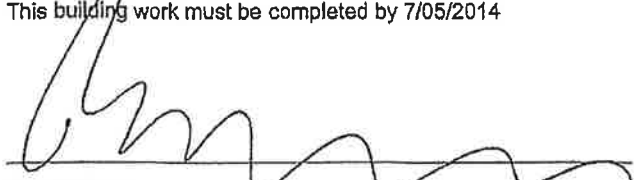
A Certificate of Final Inspection is required before use or occupation

If an occupancy permit is required, the permit is required for the whole/part* of the building in respect of which the building work is carried out. *whichever is applicable

Commencement and completion

This building work must commence by 7/05/2013

This building work must be completed by 7/05/2014


Ross O'Meara
RELEVANT BUILDING SURVEYOR
Registration No BS1365

Date of issue:

Monday, 7 May 2012
Page 1 of 3

'Supporting Better Builders'

Form 2
Regulation 313
Building Act 1993
Building Regulations 2006

Cont...

Staged Permit BS1365/20112526/1

MANDATORY INSPECTIONS

Sub-floor framing

Framework

Steel for Pool

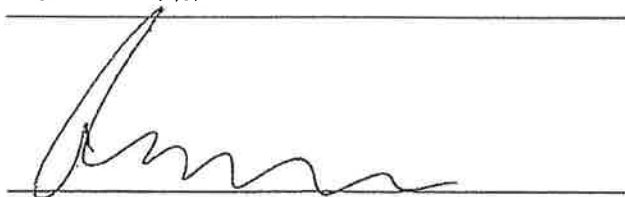
Final

PERMIT CONDITIONS

- 1 Timber framing is to comply with AS1684-2006 and AS1720.1-1997 & AS1720.4-1990
- 2 Steel work to comply with AS 4100 - 1998
- 3 Display of Sign: Pursuant to Regulation 317 of the Building Regulations 2006, the site sign as attached must be displayed at all times by the person in charge of the building work.
- 4 The Domestic Building Contracts Act 1995 applies to this work
- 5 Safety barriers for swimming pools must comply with AS1926.1-2007
- 6 Areas designated Termite areas protection required in accordance with AS 3660.1-2000
- 7 All plumbing work must be carried out by a licensed plumber and approved by the relevant authority
- 8 Proposed downpipes and stormwater drainage lines, to be connected to a legal point of discharge to Council's approval.
- 9 Wet areas are to comply with Building Code of Australia F1.7
- 10 All relevant Planning Conditions and covenants on title must be complied with.
- 11 The Building Work as described in the plans approved for the Building Permit must not be altered in any way

The owner/occupier of an allotment or a building containing a swimming pool must take all reasonable steps to ensure that any fence, barrier, door, screen, gate, latch, catch, bolt or self closing device restricting access to the pool is maintained in a workable condition to provide the required level of safety.

The building work must be completed within 6 months after the building work commences in the case of a swimming pool or spa, or any barrier or safety equipment associated with a swimming pool or spa as per Regulation 315(b)(i)



Ross O'Meara
RELEVANT BUILDING SURVEYOR
Registration No BS1365

Date of issue: Monday, 7 May 2012
Page 2 of 3

'Supporting Better Builders'

Form 2
Regulation 313
Building Act 1993
Building Regulations 2006

Cont...

Staged Permit BS1365/20112526/1

Note 1: Under regulation 318 an owner of a building or land, for which a building permit has been issued, must notify the relevant building surveyor within 14 days after any change in the name or address of the owner or of the builder carrying out the building work. The penalty for non-compliance is 10 penalty units.

Note 2: Under regulation 317 the person in charge of the carrying out of building work on an allotment must take all reasonable steps to ensure that a copy of this permit and one set of any approved plans, specifications and documents are available for inspection at the allotment while the building work is in progress. They must also take all reasonable steps to ensure that the registration numbers and contact details of the builder and building surveyor and the number and date of issue of this permit are displayed in a conspicuous position accessible to the public before and during the building work to which this permit applies.

Note 3: Include building practitioners with continuing involvement in the building work.

Note 4: Include only building practitioners with no further involvement in the building work.

Note 4: Domestic builders carrying out domestic building work forming part of this permit (where the contract price for that work is more than \$12000) must be covered by an insurance policy as required under section 135 of the Building Act 1993.

Prescribed Reporting Authorities

The following bodies are reporting authorities for the purposes of the application for this permit in relation to the matters set out below:

Prescribed Reporting Authorities	Matter Reported On	Regulation
Coliban Water Authority	Building Over an easement	Regs 310



Ross O'Meara
RELEVANT BUILDING SURVEYOR
Registration No BS1365

Date of issue: Monday, 7 May 2012
Page 3 of 3

'Supporting Better Builders'

CERTIFICATE OF FINAL INSPECTION

Owner P & K Hyett
149 Wattle St
Bendigo 3550

Agent Mark Coffey Constructions
5 MacKenzie Street
Bendigo 3550

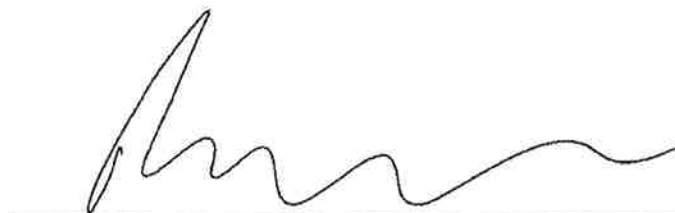
Property Details 149 Lot 3 TP701723M Wattle Street Bendigo 3550
Title details Vol 00532 Fol 241
Municipal District City of Greater Bendigo

Description of Building Works Alterations & additions to dwelling Rear extension and Swimming Pool
Permitted Use residential
BCA Class 1a(i)&10b

Certificate Number 20112526/1
Inspection Date 13/05/2014
Certificate Date Wednesday, 21 May 2014

Directions All directions under Part 4 of the Building Act 1993 have been complied with.

Conditions If applicable Occupation is subject to the Essential Services being maintained in accordance with the maintenance provisions of Part 12 of the Building Regulations 2006. Refer to the attached list of Essential Services Requirements.



Ross O'Meara RELEVANT BUILDING SURVEYOR
Registration No BS1365

'Supporting Better Builders'

CERTIFICATE OF FINAL INSPECTION

Owner P & K Hyett
149 Wattle St
Bendigo 3550

Agent Mark Coffey Constructions
5 MacKenzie Street
Bendigo 3550

Property Details 149 Lot 3 TP701723M Wattle Street Bendigo 3550
Title details Vol 00532 Fol 241
Municipal District City of Greater Bendigo

Description of Building Works Alterations & additions to dwelling Rear extension and Swimming Pool
Permitted Use SWIMMING POOL ONLY
BCA Class 1a(i)&10b

Certificate Number 20112526/1
Inspection Date 13/05/2014
Certificate Date Wednesday, 21 May 2014


Directions All directions under Part 4 of the Building Act 1993 have been complied with.

Conditions **Swimming pool and spa maintenance and operation**

(1) The occupier of an allotment or building containing a swimming pool or spa must take all reasonable steps to ensure that any fence or other barrier, door, gate, lock, latch, catch, bolt or fly screen restricting access to the swimming pool or spa is maintained and operating effectively at all times.

(2) The occupier of an allotment or building containing a swimming pool or spa must take all reasonable steps to ensure that any gate or door forming part of a swimming pool or spa barrier or fence that provides access to the swimming pool or spa is in the closed position, except when a person is in the act of entering or leaving the part of the allotment or building containing the swimming pool or spa.

(3) A person who enters or leaves the part of an allotment or building containing a swimming pool or spa must ensure that any gate or door forming part of the swimming pool or spa barrier or fence that provides access to the swimming pool or spa is in the closed position at all times, except when that person or another person is in the act of entering or leaving that part of the allotment or building.


Ross O'Meara **RELEVANT BUILDING SURVEYOR**
Registration No BS1365

Staged Permit BS1365/20112526/2

Issued to

Owner¹ P & K Hyett
149 Wattle St
Bendigo 3550

Agent

Mark Coffey Constructions
5 MacKenzie Street
Bendigo 3550

Property Details 149 Lot 3 TP701723M Wattle Street Bendigo 3550
Municipal District City of Greater Bendigo
Title details Vol 00532 Fol 241

Builder² Craig Rutledge, Goulburn Valley Buildings Pt Phone
PO Box 2234 Bendigo 3550

PRACTITIONERS

RUTLEDGE CRAIG WILLIAM

DBL30169

EISER MARK

EC36252

MCALPINE DANIEL

DPAD19324

FUNCTION AND ENGAGEMENT

Engaged in various parts of the building work- *1

Prepared documents only- *2

Prepared documents only- *2

Architect or Draftsman

who were engaged to prepare documents forming part of the application for this permit

DMC Drafting and Design Services

DPAD19324

DETAILS OF DOMESTIC BUILDING WORK INSURANCE

The issuer or provider of the required insurance policy is:- QBE Insurance (Australia) Ltd

Details of relevant planning permit (if applicable)

Planning Permit No: DR/795/2011

Date of grant of planning permit 8/12/2011

Nature of building work

Construction of garage

Stage of building work permitted

Garage Only

Cost of building work

\$15,423.00

Total floor area of new building work

56 m²

Building classification

Class 10a

Part of building

Garage Only

Occupation or use of building

A Certificate of Final Inspection is required prior to the occupation or use of this building

If an occupancy permit is required, the permit is required for the whole/part* of the building in respect of which the building work is carried out. *whichever is applicable

Commencement and completion

This building work must commence by 4/07/2013

This building work must be completed by 4/07/2014

Ross O'Meara

RELEVANT BUILDING SURVEYOR

Registration No BS1365

Date of Issue:

Supporting Better Builders

Wednesday, 4 July 2012

Page 1 of 2

Staged Permit BS1365/20112526/2

MANDATORY INSPECTIONS

Footings

Frame/Final

PERMIT CONDITIONS

- 1 Proposed downpipes and stormwater drainage lines, to be connected to a legal point of discharge to Council's approval.
- 2 Display of Sign: Pursuant to Regulation 317 of the Building Regulations 2006, the site sign as attached must be displayed at all times by the person in charge of the building work.
- 3 The Domestic Building Contracts Act 1995 applies to this work
- 4 Steel work to comply with AS 4100 - 1998
- 5 All relevant Planning Conditions and covenants on title must be complied with.
- 6 The Building Work as described in the plans approved for the Building Permit must not be altered in any way

Note 1: Under regulation 318 an owner of a building or land, for which a building permit has been issued, must notify the relevant building surveyor within 14 days after any change in the name or address of the owner or of the builder carrying out the building work. The penalty for non-compliance is 10 penalty units.

Note 2: Under regulation 317 the person in charge of the carrying out of building work on an allotment must take all reasonable steps to ensure that a copy of this permit and one set of any approved plans, specifications and documents are available for inspection at the allotment while the building work is in progress. They must also take all reasonable steps to ensure that the registration numbers and contact details of the builder and building surveyor and the number and date of issue of this permit are displayed in a conspicuous position accessible to the public before and during the building work to which this permit applies.

Note 3: Include building practitioners with continuing involvement in the building work.

Note 4: Include only building practitioners with no further involvement in the building work.

Note 4: Domestic builders carrying out domestic building work forming part of this permit (where the contract price for that work is more than \$12000) must be covered by an insurance policy as required under section 135 of the Building Act 1993.

Prescribed Reporting Authorities

The following bodies are reporting authorities for the purposes of the application for this permit in relation to the matters set out below:

Prescribed Reporting Authorities	Matter Reported On	Regulation
City of Greater Bendigo	Wall height on Boundary	Regs 415.5



Ross O'Meara

RELEVANT BUILDING SURVEYOR

Registration No BS1365

Date of Issue:

Supporting Better Builders

Wednesday, 4 July 2012
Page 2 of 2

CERTIFICATE OF FINAL INSPECTION

Owner P & K Hyett
149 Wattle St
Bendigo 3550

Agent Mark Coffey Constructions
5 MacKenzie Street
Bendigo 3550

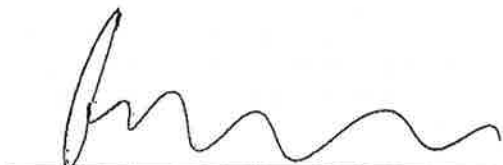
Property Details 149 Lot 3 TP701723M Wattle Street Bendigo 3550
Title details Vol 00532 Fol 241
Municipal District City of Greater Bendigo

Description of Building Works Construction of garage as per plans
Permitted Use storage
BCA Class 10a

Certificate Number 20112526/2
Inspection Date 13/05/2014
Certificate Date Wednesday, 21 May 2014

Directions All directions under Part 4 of the Building Act 1993 have been complied with.

Conditions If applicable Occupation is subject to the Essential Services being maintained in accordance with the maintenance provisions of Part 12 of the Building Regulations 2006. Refer to the attached list of Essential Services Requirements.



Ross O'Meara RELEVANT BUILDING SURVEYOR
Registration No BS1365

'Supporting Better Builders'

Consent to Erect a Structure

IN ACCORDANCE WITH SECTION 148 OF THE WATER ACT 1989

Property Services Number: **1500823050**

Upon Application by: **K L & P G Hyett**

of: **5 Mackenzie Street, BENDIGO VIC 3550**

being the registered proprietor/s (hereinafter referred to as "the owner") of all that piece of land being

Lot **P/PS** being (Part of) Crown Allotment 3

Section 50B Parish of Sandhurst

being the land more particularly described in Certificate of Title Volume 00532 Folio 241

situate know as **149 Wattle Street BENDIGO VIC 3550**

and delineated on the building approval plan annexed hereto (hereinafter referred to as "the said plan") in accordance with the provisions of Section 148 of the Water Act 1989, the Coliban Region Water Corporation (CRWC) hereby consents to the erection and/or placement of: **Proposed extension to existing dwelling**

(hereinafter referred to as "the said structure") near or over the sewer/water main or drain of CRWC delineated and coloured red on the said plan (hereinafter referred to as "the said sewer/water main"), subject to the owner agreeing to be bound by and complying with the following conditions:

1. The Owner will erect, construct, place, retain and/or maintain the Structure in strict conformity in all respects with the Plan and the Owner shall apply for and comply to the extent the owner is bound with the conditions of:
 - (a) the building approval;
 - (b) the Victorian Building Regulations;
 - (c) relevant local authority by-laws or local laws;
 - (d) any requirements of all other relevant statutes and regulations.
2. The Owner shall not alter in any way, change or extend the structure without the further written consent of CRWC and such consent shall not be unreasonably denied.
3. The owner will erect the said structure in strict conformity in all respects with the said plan keeping the space occupied by the said sewer/water main clear of all obstruction.
4. The owner will at all times without cost to the CRWC permit free and unobstructed access to and use of the said sewer/water main subject to the rights of the owner under this Agreement by the CRWC and its officers and/or servants for the purpose of inspection, clearing, cleansing, repairing, replacement or otherwise dealing with the said sewer/water main.
5. The owner, and the owner's successors in title, will bear all risks incidental to the erection, use and maintenance of the said structure beside or over the said sewer/water main and shall not have or prefer any claim of any kind against the CRWC arising out of the existence of the said structure and keep the CRWC indemnified against all claims, demands, proceedings, damages, expenses or costs by or at the instance of any person or body in relation to or in connection with or resulting from the said structure and the erection, use or maintenance thereof or the use of such structure as a means or way of access to or egress from the said sewer/water main or in any other way whatsoever.
6. If the said sewer/water main shall at any time require cleansing or repairing, the CRWC will as far as may be practicable carry out such work without entering upon or disturbing the said structure provided always that if and so far as it may be impracticable to reasonably execute any such work or cleansing and repair or replacement without entering upon or disturbing such structure, it shall be lawful for the CRWC, its officers and/or servants to enter upon such structure after giving 24 hours notice or in the case of an emergency, one hours notice in writing of their intention so to do and if necessary to break up the floor or any other part thereof and do all such things as may be necessary for the execution of such work committing always as little damage as possible and

Consent to Erect a Structure

IN ACCORDANCE WITH SECTION 148 OF THE WATER ACT 1989

- (a) where the repair necessary to the sewer/water main was not due to the existence of the subject structure the property owner is responsible only for the total cost of repairs to or reinstatement of the structure including any reasonable costs incurred by CRWC or its agents in accessing and repairing the sewer/water main which costs are directly attributable to the existence of the subject structure and
 - (b) where the repair or replacement of the sewer/water main is reasonably necessary as a direct result of the existence of the said structure the property owner is responsible for the reasonable cost of repair to the sewer/water main including access and reinstatement costs and all other losses and damages incurred by any party as a direct and reasonable consequence of the damage caused to the sewer/water main by the subject structure either during construction of the structure or any time thereafter.
7. The owner will pay all costs and expenses incidental to this agreement and any work done by the CRWC involved in or due to or arising out of the construction of the said structure over the said sewer/water main.
 8. The owner will comply with any specific conditions in relation to replacement, repair or alteration of the said sewer/water main as specified in Annexure A and at no cost to the CRWC.
 9. Unless the said structure is commenced within twelve months from the date of this consent or any extension of twelve months which the CRWC may in writing give to the owner, this consent shall lapse.
 10. Any notice or demand required to be given to the owner shall be deemed to be received by the owner if the CRWC leaves such notice or demand at the premises the subject of this application or by posting the notice and/or demand by prepaid ordinary mail to the said premises.
 11. The Owner shall not transfer ownership or possession of the Land and/or Structure without first giving notice in writing to the proposed Transferee or occupier of the existence and substance of this Agreement and in the case of a transfer by sale the Owner shall:
 - (a) include a copy of the Agreement in the Vendor's Statement required by Section 32 of the Sale of Land Act 1962 (or any subsequent re-enactment thereof);
 - (b) include in the Contract of Sale or any memorandum of agreement a condition whereby the proposed Transferee agrees:
 - (i) to be bound and acknowledges that he is bound by all the conditions of this Agreement (including this condition) in all respects as if he was the Owner;
 - (ii) to execute at the Transferee's expense in all things an agreement of the same nature as this Agreement should this be required by CRWC.
- The Owner shall give CRWC notice in writing of the transfer within 14 days of the date upon which such transfer takes effect.
12. Upon transfer of the said land in accordance with clause 11 of this Agreement, the Owner shall further be released and discharged from all obligations and liabilities in respect of this Agreement save those obligations and liabilities which exist at the time of execution of the Contract of Sale.

Consent to Erect a Structure

IN ACCORDANCE WITH SECTION 148 OF THE WATER ACT 1989

Further Conditions (if any)

Dated the 5th day of MARCH 2012

Signed: [Signature]
(Registered Proprietor)

Witnessed: ROBERT CRUICK

Signed: [Signature]
(Witness)

OR

THE COMMON SEAL of _____)

_____)
was hereunto affixed by authority _____)

of the Directors in the presence of _____)

_____ Director

_____ Secretary

Approved by Coliban Region Water Corporation on:

Date: _____

Authorised Officer (please print): P. D. L. 5.2.12

Signature: 7/8/12

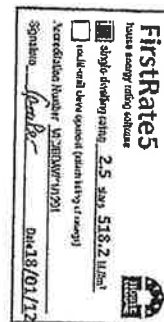
Consent to Erect a Structure

IN ACCORDANCE WITH SECTION 148 OF THE WATER ACT 1989

Annexed Plan:

Refer to drawings attached:

- PH-001-11-09
PH-001-11-10
PH-001-11-11



EXISTING BUILDING AREA	211.88 m ²
EXISTING VERANDA AREA	44.39 m ²
PROPOSED EXTENSION	54.87 m ²
PROPOSED DECK	9.86 m ²

RENOVATION TO EXISTING BUILDING
AT 148 WATTLE STREET, BENDIGO

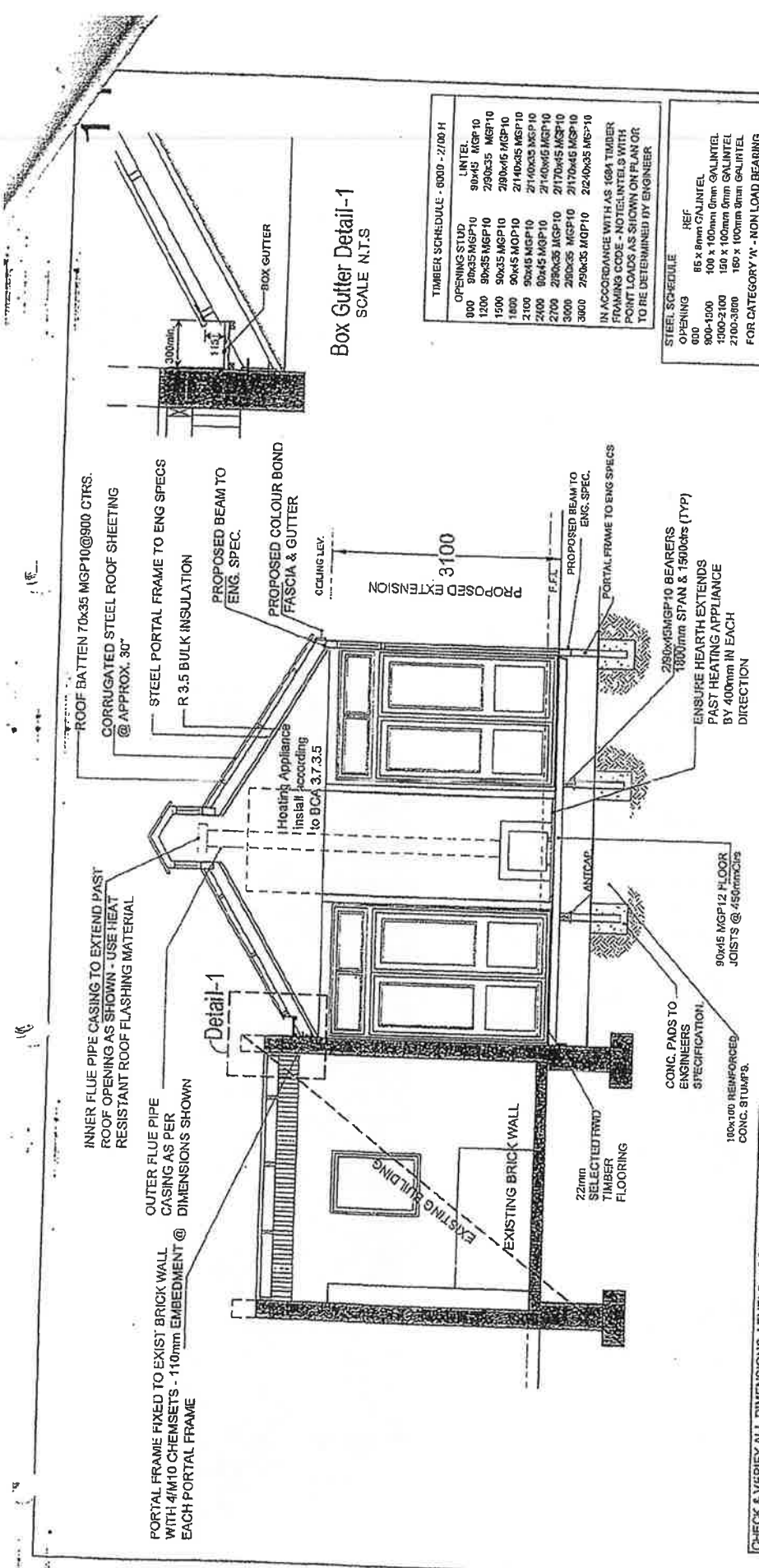
PROPOSED FLOOR PLAN

PETER HYETT



NAME	DO	DATE	PR-001-11-03	COPYRIGHT © JAMES EARL RAY 1968
ORDER	0016			
EXTENSION	05-11	11-11-68		
NOV 1968		08		

DMC
DRAFTING AND DESIGN SERVICES
DP AD-10724 PH: (313) 544-5324
FAX: (313) 544-7144
AEN 12 87 343 743



Box Gutter Detail-1
SCALE N.T.S

TIMBER SCHEDULE - 6000 - 2100 H	
OPENING STUD	UNTEL
900 90x35 MGP10	90x45 MGP10
1200 90x35 MGP10	230x35 MGP10
1500 90x35 MGP10	200x45 MGP10
1800 90x35 MGP10	210x45 MGP10
2100 90x35 MGP10	210x45 MGP10
2400 90x35 MGP10	210x45 MGP10
2700 230x35 MGP10	210x45 MGP10
3000 230x35 MGP10	210x45 MGP10
3300 230x35 MGP10	210x45 MGP10
3600 230x35 MGP10	220x45 MGP10

IN ACCORDANCE WITH AS 1684 TUBER
FRAMING CODE - NOTES UNLESS OTHERWISE
POINT LOADS AS SHOWN ON PLAN OR
TO BE DETERMINED BY ENGINEER

PLOT DATE: 17-11-11

RENOVATION TO EXISTING BUILDING AT 140 WATTLE STREET, BENDIGO	
PROPOSED SECTION A-A	
PETER HUNT	
DATE: 17-11-11	BY: P.H.
CHECKED BY: P.H.	
DRAWN BY: P.H.	
SCALE: 1:50	
DMC DRAWING AND DESIGN SERVICES PO BOX 100 BENDIGO VIC 3480 TEL: 03 9480 2000 FAX: 03 9480 2001	

FirstRate5
house energy rating software

☒ single-family rating 2.5 stars 518.2 MJ/m²
☐ multi-unit development (each living unit rating)

Accreditation Number: 10000000000000000000
Signature: [Signature]
Date: 18/01/12

SECTION A-A
SCALE 1:50

IF A DWELLING IS LOCATED IN AN AREA OF TERMITE INFESTATION, IT MUST BE PROTECTED IN ACCORDANCE TO AS 3650.1 AND SECTION 3.1.3-BCA-1995. DOWN PIPES TO BE INSTALLED IN ACCORDANCE WITH CLAUSE 3.5.2.5-BCA-1995.

PROTECTIVE COATING TO ALL STEEL WORK. ALL STEEL SHALL HAVE 2 COATS OF ALKID OR GLOSS, OR TO BE HOT DIP GALVANISED 300g/m² OR LINTELS IN MASONRY WITHIN 1km FROM THE COAST 600g/m²

NOTE: PROVIDE CAVITY FLASHING AND WEEP HOLES TO THE EXTERNAL WALLS OF THE DWELLING AS REQUIRED BY PART 3.4 OF THE BUILDING CODE OF AUSTRALIA. THE WEEP HOLES ARE TO BE ABOVE THE CAVITY FLASHING NOT MORE THAN 1.2m CTRFS.

CHECK & VERIFY ALL DIMENSIONS, LEVELS & CONDITIONS ON SITE BEFORE COSTING, ORDERING OR PREFABRICATING ANY COMPONENTS FROM THIS DRAWING.

GALZING TO COMPLY WITH AS-1288-1994 LAMINATED SAFETY GLASS IS REQUIRED FOR WINDOWS WITHIN 1500mm OF THE BASE OF THE BATH OF WITHIN 500mm OF A SHOWER COMPARTMENT

DOWN PIPES TO BE INSTALLED IN ACCORDANCE WITH CLAUSE 3.5.2.5-BCA-1995.

TREADS 240mm AND RISERS 190mm WITH 125mm GAP IF OPEN TREADS. HANDRAILS 100mm AT LANDINGS 865mm AT STEPS. 125mm BETWEEN RAILS MUST COMPLY TO PART 3.9.1. OF THE BUILDING CODE OF AUSTRALIA.

NOTE: ALL BRICKWORK IS TO BE ARTICULATED AS PER THE METHOD SET OUT IN THE CEMENT&CONCRETE ASSOCIATION OF AUSTRALIA PUBLICATION, 'ARTICULATED WALLING-TECHNICAL NOTE 61 OR EQUIVALENT'.

Due diligence checklist

What you need to know before buying a residential property

Before you buy a home, you should be aware of a range of issues that may affect that property and impose restrictions or obligations on you, if you buy it. This checklist aims to help you identify whether any of these issues will affect you. The questions are a starting point only and you may need to seek professional advice to answer some of them. You can find links to organisations and web pages that can help you learn more, by visiting consumer.vic.gov.au/duediligencechecklist.

Urban living

Moving to the inner city?

High density areas are attractive for their entertainment and service areas, but these activities create increased traffic as well as noise and odours from businesses and people. Familiarising yourself with the character of the area will give you a balanced understanding of what to expect.

Is the property subject to an owners corporation?

If the property is part of a subdivision with common property such as driveways or grounds, it may be subject to an owners corporation. You may be required to pay fees and follow rules that restrict what you can do on your property, such as a ban on pet ownership.

Growth areas

Are you moving to a growth area?

You should investigate whether you will be required to pay a growth areas infrastructure contribution.

Flood and fire risk

Does this property experience flooding or bushfire?

Properties are sometimes subject to the risk of fire and flooding due to their location. You should properly investigate these risks and consider their implications for land management, buildings and insurance premiums.

Rural properties

Moving to the country?

If you are looking at property in a rural zone, consider:

- Is the surrounding land use compatible with your lifestyle expectations? Farming can create noise or odour that may be at odds with your expectations of a rural lifestyle.
- Are you considering removing native vegetation? There are regulations which affect your ability to remove native vegetation on private property.
- Do you understand your obligations to manage weeds and pest animals?
- Can you build new dwellings?
- Does the property adjoin crown land, have a water frontage, contain a disused government road, or are there any crown licences associated with the land?

Is there any earth resource activity such as mining in the area?

You may wish to find out more about exploration, mining and quarrying activity on or near the property and consider the issue of petroleum, geothermal and greenhouse gas sequestration permits, leases and licences, extractive industry authorisations and mineral licences.

Soil and groundwater contamination

Has previous land use affected the soil or groundwater?

You should consider whether past activities, including the use of adjacent land, may have caused contamination at the site and whether this may prevent you from doing certain things to or on the land in the future.

Land boundaries

Do you know the exact boundary of the property?

You should compare the measurements shown on the title document with actual fences and buildings on the property, to make sure the boundaries match. If you have concerns about this, you can speak to your lawyer or conveyancer, or commission a site survey to establish property boundaries.

Planning controls

Can you change how the property is used, or the buildings on it?

All land is subject to a planning scheme, run by the local council. How the property is zoned and any overlays that may apply, will determine how the land can be used. This may restrict such things as whether you can build on vacant land or how you can alter or develop the land and its buildings over time.

The local council can give you advice about the planning scheme, as well as details of any other restrictions that may apply, such as design guidelines or bushfire safety design. There may also be restrictions – known as encumbrances – on the property's title, which prevent you from developing the property. You can find out about encumbrances by looking at the section 32 statement.

Are there any proposed or granted planning permits?

The local council can advise you if there are any proposed or issued planning permits for any properties close by. Significant developments in your area may change the local 'character' (predominant style of the area) and may increase noise or traffic near the property.

Safety

Is the building safe to live in?

Building laws are in place to ensure building safety. Professional building inspections can help you assess the property for electrical safety, possible illegal building work, adequate pool or spa fencing and the presence of asbestos, termites, or other potential hazards.

Building permits

Have any buildings or retaining walls on the property been altered, or do you plan to alter them?

There are laws and regulations about how buildings and retaining walls are constructed, which you may wish to investigate to ensure any completed or proposed building work is approved. The local council may be able to give you information about any building permits issued for recent building works done to the property, and what you must do to plan new work. You can also commission a private building surveyor's assessment.

Are any recent building or renovation works covered by insurance?

Ask the vendor if there is any owner-builder insurance or builder's warranty to cover defects in the work done to the property.

Utilities and essential services

Does the property have working connections for water, sewerage, electricity, gas, telephone and internet?

Unconnected services may not be available, or may incur a fee to connect. You may also need to choose from a range of suppliers for these services. This may be particularly important in rural areas where some services are not available.

Buyers' rights

Do you know your rights when buying a property?

The contract of sale and section 32 statement contain important information about the property, so you should request to see these and read them thoroughly. Many people engage a lawyer or conveyancer to help them understand the contracts and ensure the sale goes through correctly. If you intend to hire a professional, you should consider speaking to them before you commit to the sale. There are also important rules about the way private sales and auctions are conducted. These may include a cooling-off period and specific rights associated with 'off the plan' sales. The important thing to remember is that, as the buyer, you have rights.